

CERTIFICATE OF APPROPRIATENESS

Application Date: April 28, 2021

Applicant: John Linder, owner, Kristin Schuster, agent-architect

Property: 4018 Oakridge St. Houston, Harris County

Significance: Contributing 1930 Bungalow

Proposal: Alteration: Front Porch

- Partial 2nd 543 SF story addition located almost 100% on above existing structure
- New ridge height 20'
- 2nd floor finished floor height 7' 4"
- Roof pitch to match

Public Comment: No public comment received.

Civic Association: NCC awaiting a survey but have approved contingently

Recommendation:

HAHC Action: -

APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

S D NA S - satisfies D - does not satisfy NA - not applicable

- (1) The proposed activity must retain and preserve the historical character of the property;
(2) The proposed activity must contribute to the continued availability of the property for a contemporary use;
(3) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance;
(4) The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment;
(5) The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site;
(6) New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale;
(7) The proposed replacement of exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures;
(8) Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site;
(9) The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological or cultural material, including but not limited to siding, windows, doors and porch elements;
(10) The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and
(11) The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area.

District Map





4018 Oakridge

Inventory Photo



Figure 1- 10-22-2012



Figure 2 - Current Image

Map No. _____ Addition <u>no Norhill</u>		IMPROVEMENTS	
Block <u>26</u> Lot <u>10</u>		No. Sq. Ft. <u>914</u>	Price Per Sq. Ft. <u>225</u>
OWNER <u>W. Elliott & C.</u>		\$ <u>2050</u>	
ADDRESS <u>4018 Oakridge</u>			Percent Good
TYPE OF PROPERTY <u>Rus</u> OCCUPIED VACANT			60
BASEMENT, Whole Part _____			1230
FOUNDATION, Concrete, Stone, Brick, Piers, Posts. _____		Other Bldgs.	
WALLS, Brick _____ Stone _____ Hollow Tile, Stucco, Metal, Concrete Blocks, Box _____ Weatherboard _____		1	
ROOF CONS., Concrete, Steel, Wood Truss. _____		Total All Bldgs.	
ROOF, Hip, Gable, Mansard, Flat. _____		1330	
ROOFING, Composition, Metal, Slate, Wood, Shingles, Tile, Asbestos. _____		LAND VALUE	
EXTERIOR TRIM, Stone, Terra Cotta, Metal, Wood, Marble, Granite. _____		Front x Depth	Unit Value
FLOORING, Pine, Hardwood, Cement, Tile, Marble, Dirt _____		40 x 100	10
INTERIOR TRIM, Plaster, Hardwood, Marble, Metal, Built-in Features _____		Factor	Front Ft. Value - - \$
HEATING, Furnace, Stoves, Fireplace, Chimneys, Gas _____			500
LIGHTING, Electricity _____		TOTAL	
PLUMBING, Sewer, Water, Baths _____		210-1720	
ELEVATORS _____			
CONDITION, Good, Fair, Bad, Obsolete _____			
PERMIT DATE _____ NO. _____ AMT. _____			

Figure 4 - Original Floor Plan with 16' deep porch

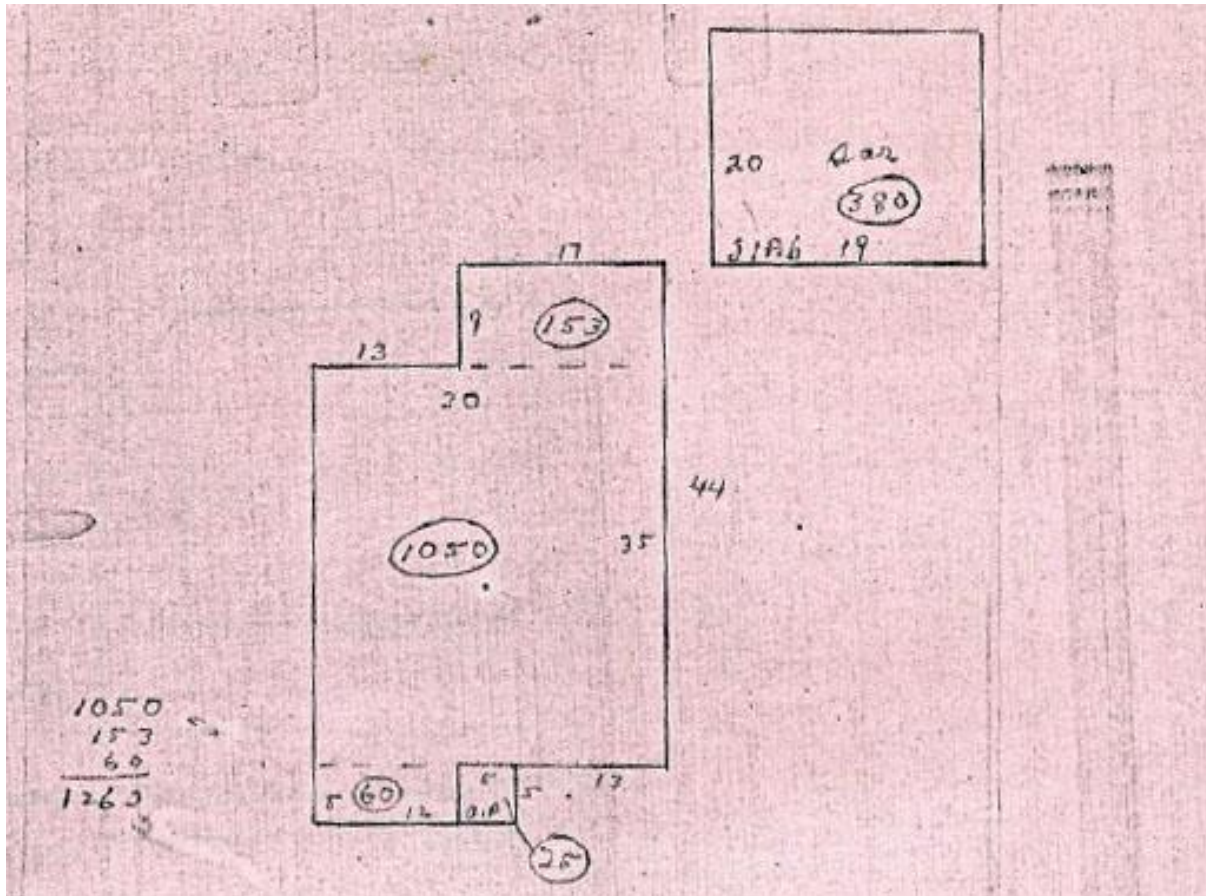
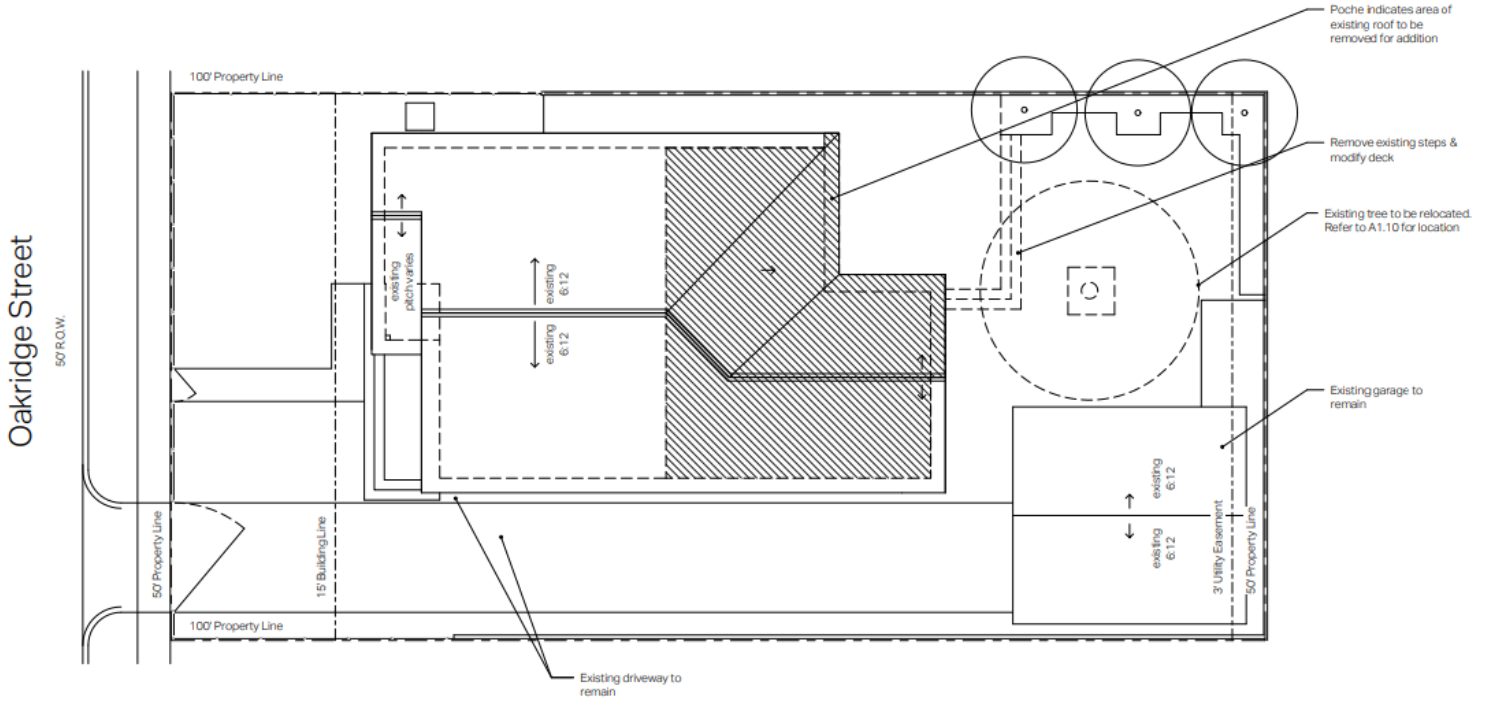
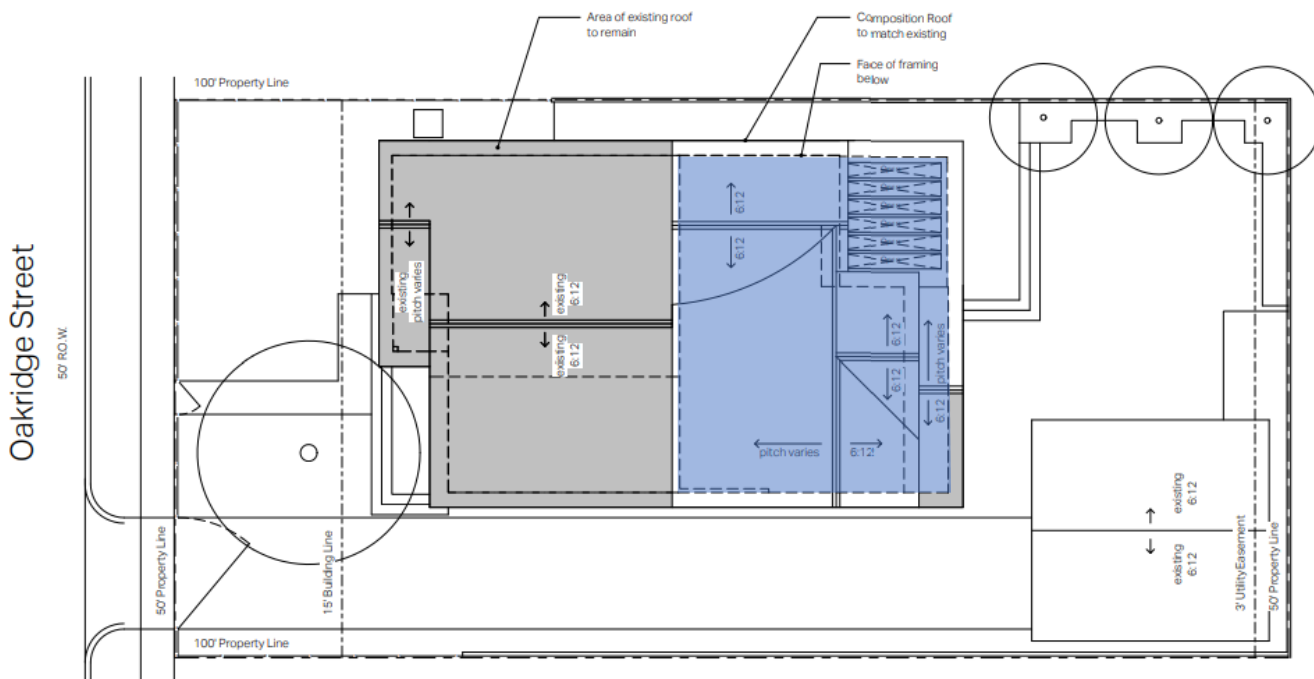


Figure 3 - Later Floor Plan with 5' deep porch - left side appears to be partially or completely reclad with double dovetail/214

Site Plan – Existing



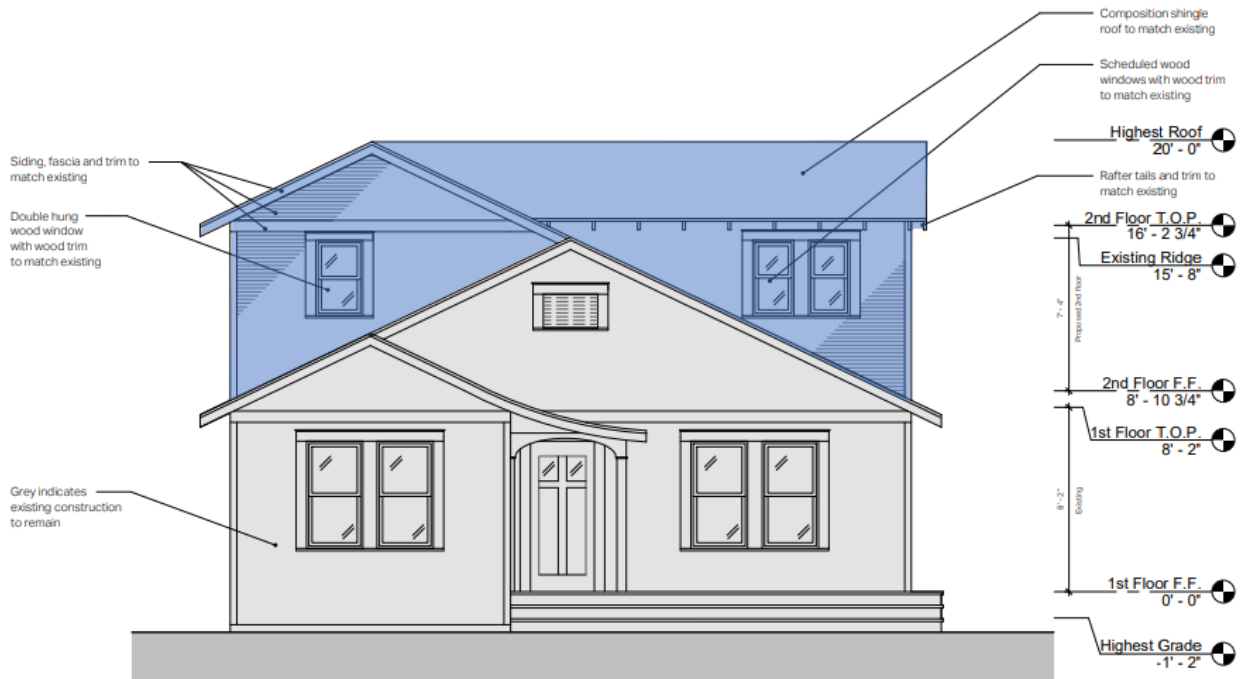
Site Plan – Proposed

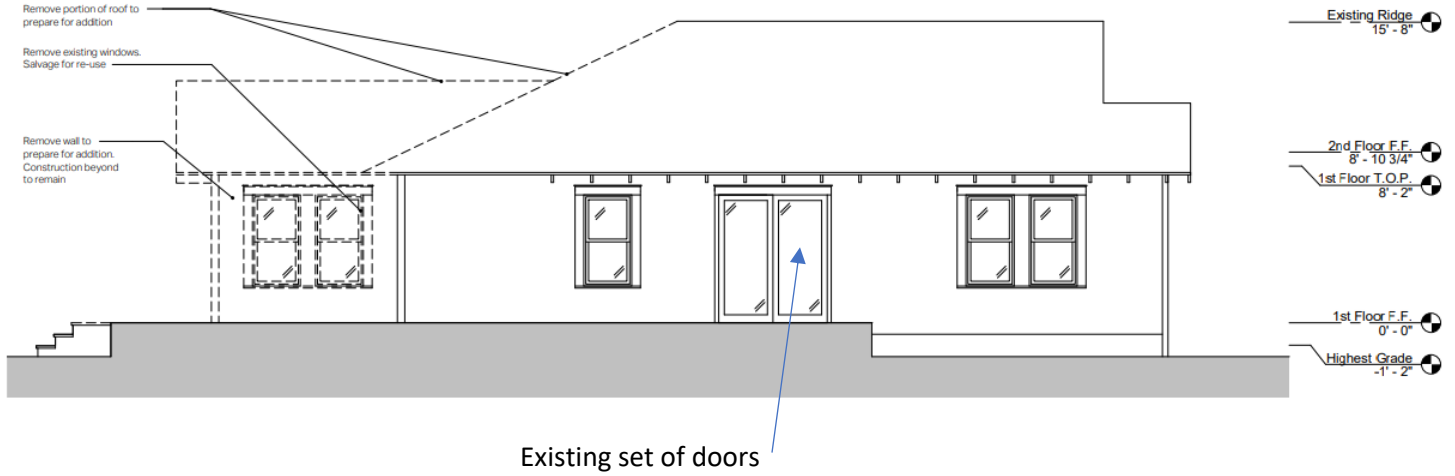


Front Elevation – Existing



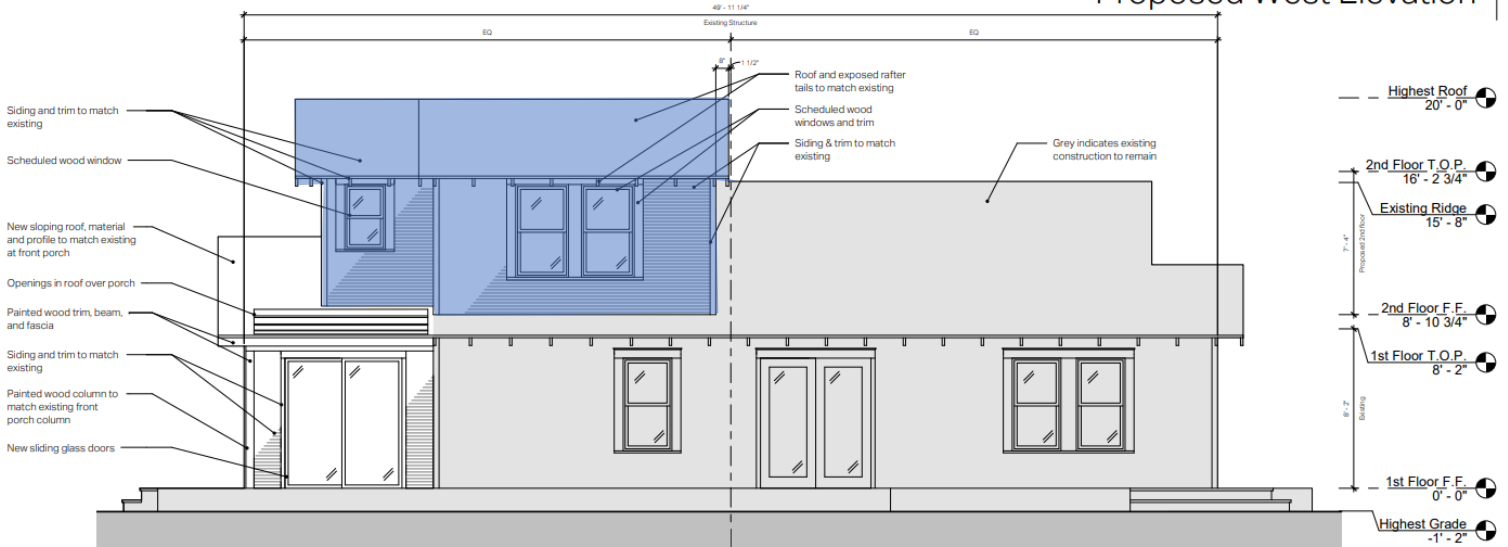
Front Elevation – Proposed

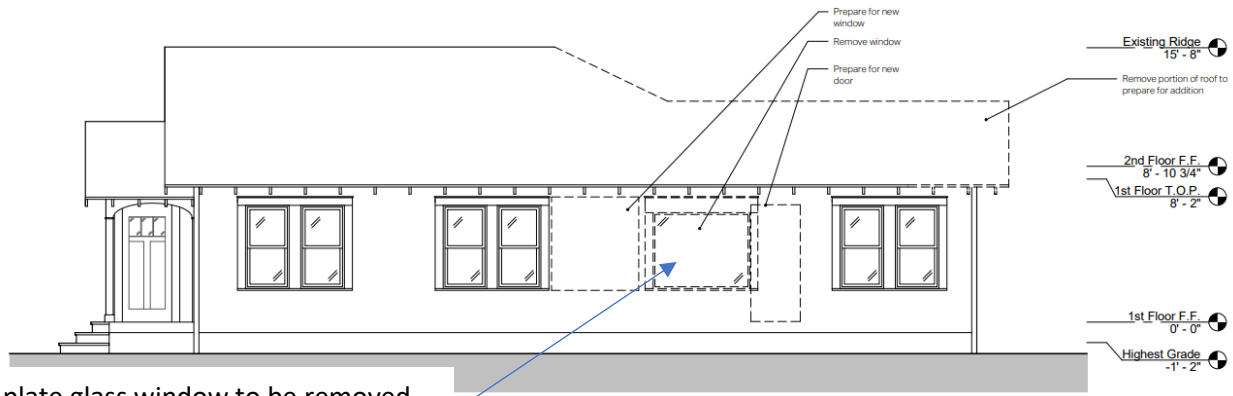




Existing set of doors

Proposed West Elevation | 02

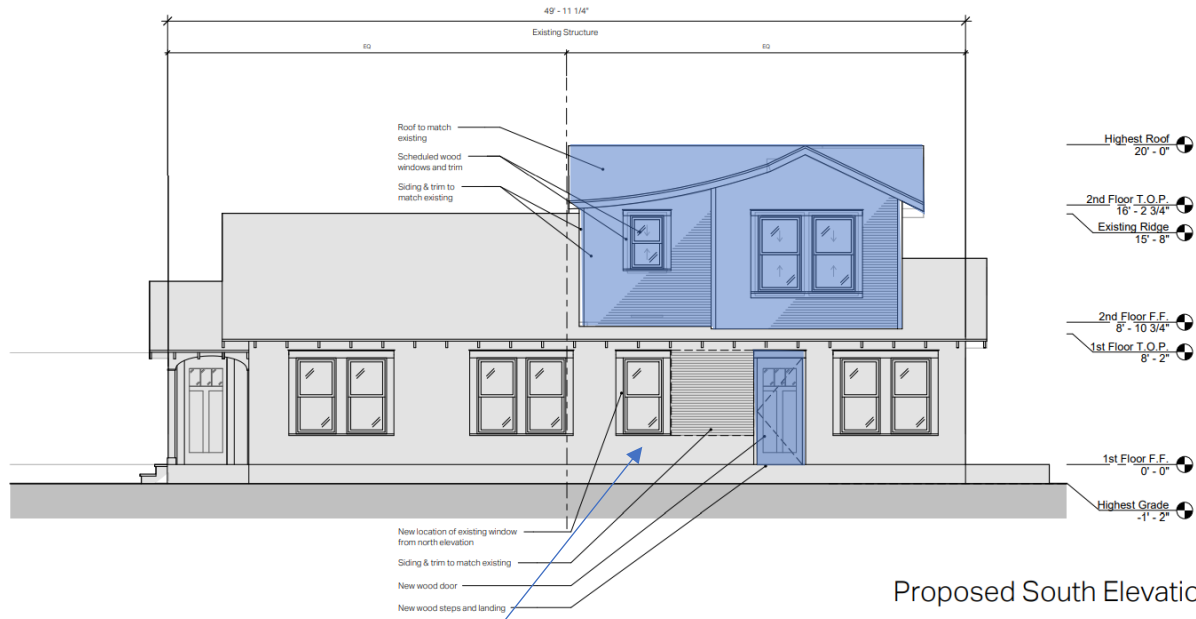




Non original plate glass window to be removed

(please see attached current images)

Figure 5 - Existing South Elevation



Proposed South Elevation

Window repurposed from rear elevation, into non-original opening and replacing non-inappropriate plate glass



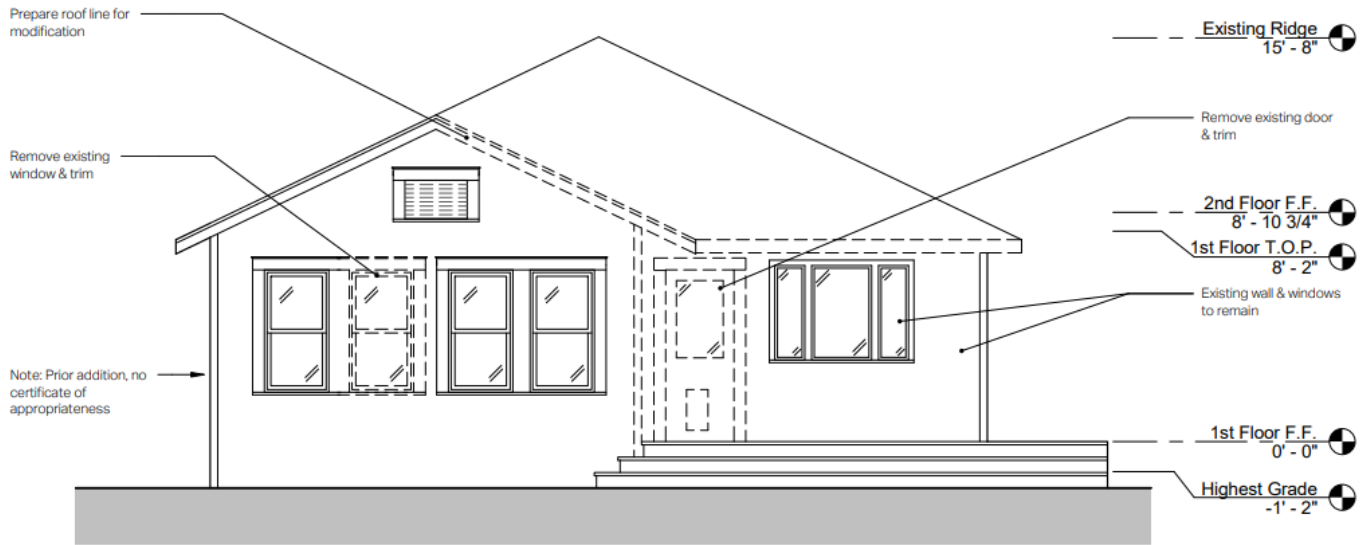


Figure 6 - Rear/East Elevation

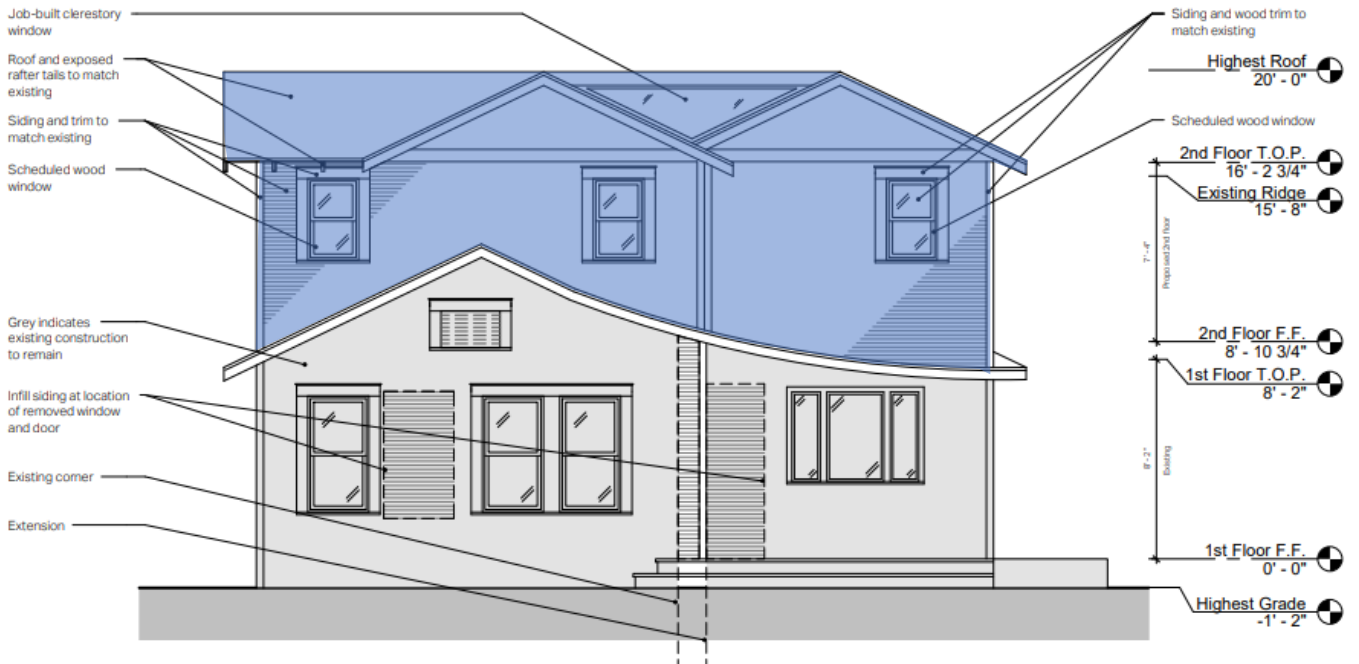


Figure 7 - Proposed Rear/East Elevation



Inflection
Architecture

Houston Architectural & Historical Commission Certificate of Appropriateness Application Written
Descriptions, Photographs, and Elevations

To:

Houston Office of Preservation
Administrator of original approved COA

Applicant: Fred and Janette Lindner

Email: Fred Lindner

Fred@lindnerdesign.com

Janette Lindner

Janette.garza@gmail.com

Re: 4018 Oakridge
Houston, Tx 77009

1. Existing property conditions; information about prior alterations

Property Description: 4018 Oakridge, Lot 10, in Block 126, of North Norhill

Significance: Contributing structure to Norhill historic district

Existing Property Condition & Information about Prior Alterations: Property has been subject to prior alterations and additions. Attached tax documentation show that the property was subject to at least one addition prior to 1953. Original front porch was enclosed in an addition at an unknown date.

2. Description of proposed changes; Please refer to architectural drawings for detailed information including window & door schedule.

Addition: Proposed rear partial second story above prior 1st floor addition. 2nd story addition complies with "shall approve" criteria as follows:

A partial second-story addition that:

- a. Is constructed on top of a one-story structure;
- b. Does not extend outside of the footprint of the existing structure;
- c. Is set back from the front wall of the exiting structure at least half the distance between the front wall of the existing structure and the farthest point of the rear of the existing structure;



- d. Has a plate height that does not exceed the plate height of the story beneath the proposed addition;
- e. Has a roof pitch that is less than or equal to the existing structure;
- f. Is constructed without the removal of any existing exterior walls; and
- g. Is not constructed on a structure that has already had an addition approved with a Certificate of Appropriateness.

Prior not approved addition to the rear of the first floor will be expanded by 11 sf.

No original historic material including siding and windows will be removed that is visible from the street. New windows will be wood double-hung one-over-one. See attached documentation.

1. East Side

Demolition: Roof line will be modified for addition. Remove existing door and remove (1) existing window & trim. All other windows to remain in current locations.

Demolished window: (1) 30" x 57"

Proposed: Extension of the east interior corner. Infill siding at location of removed window and door. The addition includes roof, exposed rafters, siding, and trim to match existing.

Scheduled windows: W2 04: 25"x 40"

W2 06: 25"x 40"

W2 07: 25"x 40"

1. West Side

Front elevation facing Oakridge no change to original or historic construction.

2. North Side

No changes to historic construction. Proposed modifications to existing structure are not visible from Oakridge street.

Demolition: Remove two existing windows from prior addition non-historic. Salvage one for re-use. All other windows to remain in current locations. Portion of the will be removed to prepare for addition.



Proposed: New roof, material, pitch and profile to match existing. Siding and trim to match existing. New sliding glass doors will be installed in a proposed 11 sf addition to an existing non-approved rear addition and will not be visible from Oakridge.

Scheduled windows: W2 02: 30"x57"
W2 03: 30" x 57"
W2 05: 25" x 40"

Scheduled sliding door: D101: 6'-0" x 6'-8"

3. East Side

Demolition: Roof line will be modified for addition. Remove existing door and remove (1) existing window & trim. All other windows to remain in current locations.

Demolished window: (1) 30" x 57"

Proposed: Infill siding at location of removed window and door. The addition includes roof, exposed rafters, siding, and trim to match existing.

Scheduled windows: W2 04: 25" x 40"
W2 06: 25" x 40"
W2 07: 25" x 40"

4. South Side

Demolition: Demolish portion of the roof to prepare for addition. Prepare openings for proposed window and door. Demolish (1) 66" x 52" existing non-original window. All other windows to remain in current locations.

Proposed: At partial second story addition, new sloping roof, materials, and profile to match existing. Siding and trim to match existing. Infill siding at location of removed window. New wood door to match other exterior doors with new wood steps and landing. New location of salvaged window from north elevation.

Scheduled windows: W2 08: 32 1/2" x 57"
W2 09: 32 1/2" x 57"
W2 10: 25" x 40"
Scheduled door: D1 02: 2' -10" x 6' -8"



3. Description of proposed new materials, including size

See attached architectural drawings for list of new & existing windows.

1. Proposed materials

Siding: Wood siding 117 profile. Siding at exterior will be painted to match existing material, color t.b.d and profile.

New Windows: Jeld-wen custom wood, double hung, one-over-one. See attached documentation.

Roof: Composition shingle 30 year to match existing



4. Photos & Elevations of Proposed Alterations



Existing West Elevation



Existing North Elevation



Existing South Elevation



Existing East Elevation

6. Historic Documentation

Form 381

BUILDING ASSESSMENT

Houston, Texas

Map No. 33 1/2 Permit No. 1082

Vol. 53 Page 3 22, 192

Owner W.P. Schultz

No. 4018 Oakridge Street or Avenue

Addition North West Hill

Block 126 Lot 16

5 Rooms

Size of Building 28 wide 34 deep 1 stories

Size of Garage 10 wide 16 deep stories

With or without basement or cellar.
Foundation: Walls or Piers.
Material: Frame, Brick, Veeneer, Stucco.
Outside Trimmings: Plain, Ornamental.
Inside Finish: Rough, Plain, Ornamental, Hard Wood, Pine, Plaster.
Roof: Hip, Gable, Flat.
Roofing: Slate, Tile, Tin, Shingle, Copper, Composition, Iron, Tar and Gravel, Paper, Asbestos.
Heating: Furnace, Steam, Gas, Stoves, Fire Place.
Plumbing: With or Without Bath Room.

Permit Value, \$ 2000

No. Sq. Ft. Per Sq. Ft.

No. Sq. Ft. Per Sq. Ft.

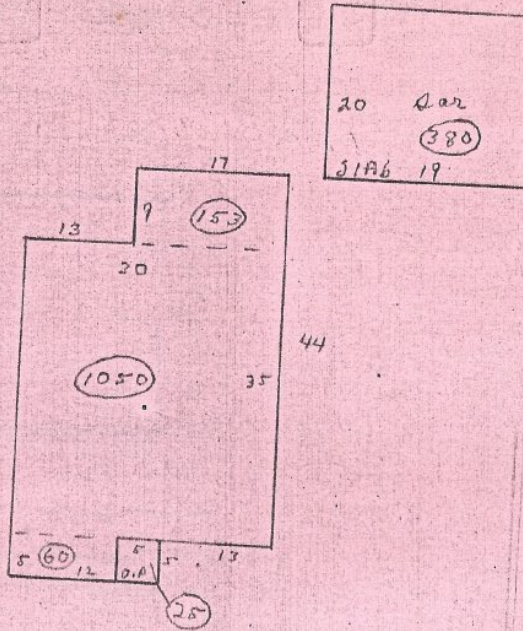
No. Sq. Ft. Per Sq. Ft.

7/21/18
Assessed Value of Building, \$ 900 for 24

Rendered in name of

O. Christensen

Map No. _____ Addition <u>2nd North Hill</u> Block <u>126</u> Lot <u>10</u>		IMPROVEMENTS	
OWNER <u>W. Elliott & Co.</u> ADDRESS <u>4018 Oakridge</u>		No. Sq. Ft. <u>914</u>	Price Per Sq. Ft. <u>225</u> \$ <u>2050</u>
TYPE OF PROPERTY <u>Res.</u> OCCUPIED VACANT			Percent Good <u>60</u> <u>1230</u>
BASEMENT, Whole Part <input checked="" type="checkbox"/>			Other Bldgs. <u>1</u> <u>100</u>
FOUNDATION, Concrete, Stone, Brick, Piers, Posts.		Total All Bldgs. <u>1330</u>	
WALLS, Brick _____ Stone _____ Hollow Tile, Stucco, Metal, Concrete Blocks, Box _____ Weatherboard _____		FLOORING, Pine, Hardwood, Cement, Tile, Marble, Dirt	
ROOF CONS., Concrete, Steel, Wood Truss		INTERIOR TRIM, Plaster, Hardwood, Marble, Metal, Built-in Features _____	
ROOF, Hip, Gable, Mansard, Flat		HEATING, Furnace, Stoves, Fireplace, Chimneys, Gas _____	
ROOFING, Composition, Metal, Slate, Wood, Shingles, Tile, Asbestos		LIGHTING, Electricity _____	
EXTERIOR TRIM, Stone, Terra Cotta, Metal, Wood, Marble, Granite		PLUMBING, Sewer, Water, Baths _____	
PERMIT DATE _____ NO. _____ AMT. _____		ELEVATORS _____	
		CONDITION, Good, Fair, Bad, Obsolete	
		LAND VALUE	
		Front x Depth <u>50 x 100</u>	Unit Value <u>10</u> Factor <u>10</u> Front Ft. Value - - \$ <u>500</u>
		TOTAL	
		<u>210-720</u>	



1050
153
60
1263

EXISTING APPRAISALS, if any -
100% Value - without depreciation-\$ _____ \$
Dep.-Ph. 25% Fu. _____ % Ec. _____ %\$ _____ \$
NEW APPRAISALS _____ \$

Dist 1363	SFO \$ 5.70	\$ 7,200	\$
Dist 380	2.60	990	
O.B. 25	1.40	30	
		8220	
Less 35% Deprec		2880	
		5340	

Appraiser's name & date
8-29-68

P. G. Vazirani

TOTAL VALUE \$ 5340

FOR 19 69 40% \$ 2140 City
85% = 2840

Co 20% = 1070

CITY OF HOUSTON **HARRIS COUNTY BUILDING ASSESSMENT**
 ACN 026-138-00-010-8

OWNER **WILLET LLOYD C**
 ADDRESS **4018 OAK RIDGE**
 DESCRP. **LOT 10 BLK 126 N NORHILL**

LAND VALUE **2510**
 IMPROVEMENTS **5360**

AUG

COUNTY ACCOUNT NO.				
SEQUENCE NO.	VOL.	PG.	SUB.	ITEM
	62	105	0	10
<i>79</i>				
<i>Revalued</i>				
<i>1978. Nov +</i>				
DATE VALUE <i>3890</i>				
NEW OWNER				

No. Stories	FOUNDATION	ROOF TYPE	GARAGE
Sngl. Family	Concr. Slab	Gable	Walls
Duplex	Beam & Piers	Hipped	Roof
Gar. Apt.	Concr. Blks	Flat	Floor
Fnshd. Attic			Ceiled
Basement	FLOORING	ROOFING	Doors
SIDING	Pine	Wd. Shngls	
Brick V.	Hardwood	Comp. Shgs	
Stone V.	Terrazzo	Tar & Gravel	CARPORT
Asbestos	Vinyl		Roof
Shakes	WtoW Cpts	INTERIOR FNSH.	Floor
Lumber		S/L & Paper	
	HEATING & COOLING	Sheetrock	
No. Bdrms	A/C,C/H, Dual	Wd. Panels	
No. Baths		Plaster	
No. P'places			

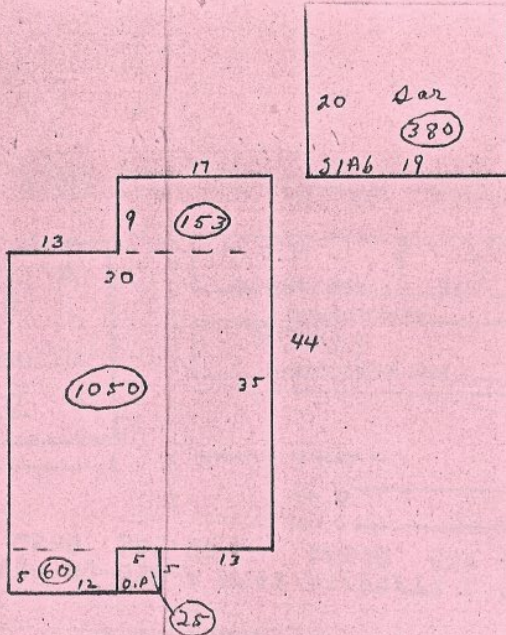
Permit **026-138-00-010-8 1977 01/24/77 I**
6580 185.00 12170 53%

TRANSMITTED
 DATE **DEC 16**
 OPR. **W**

Impr. \$ _____
 Rendered in name of _____

MARKET VALUE 100%
6580
 (FROM REVERSE)

APPRAISER CODE **F08** DATE **12/15/76**



1050
153
60
1263

EXISTING APPRAISALS, if any -
100% Value - without depreciation-\$ _____ \$
Dep.-Ph. 35% Fu. % Ec. % \$ _____ \$
NEW APPRAISALS

Qty 1263	SF@ \$ 5.70	\$ 7,200	\$
Car 380	2,60	990	
O.B. 25	140	30	
		<u>8220</u>	
Less 35% Depr		2880	
		5340	

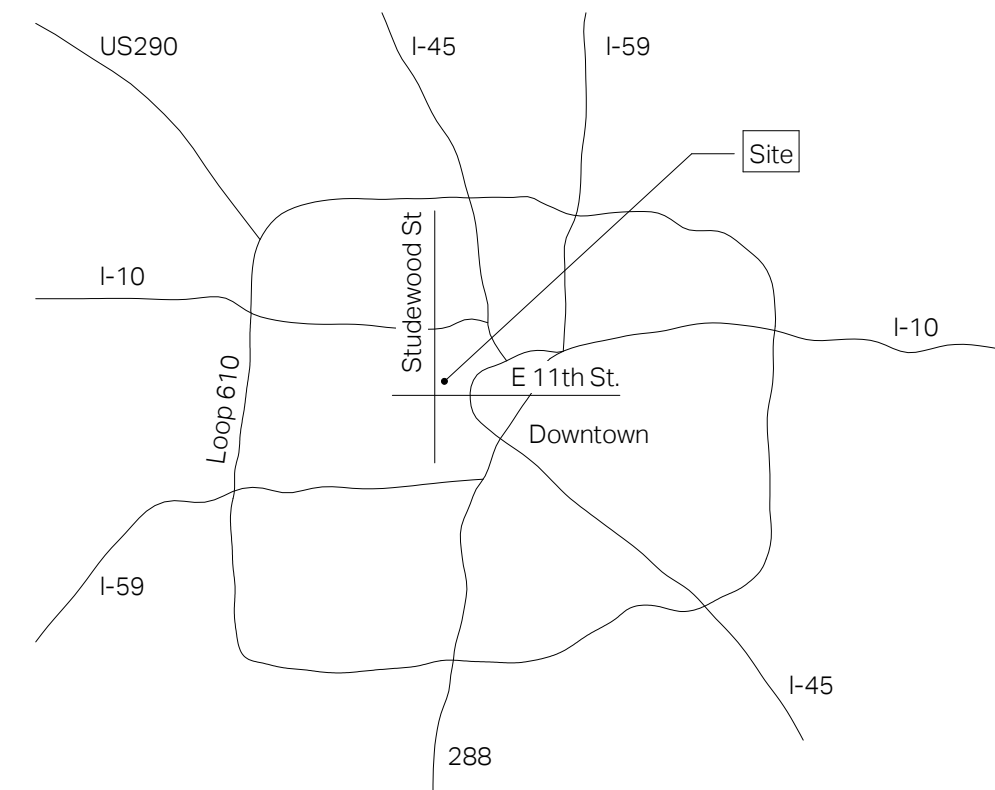
Appraiser's name & date
8-29-68
K. O. Vance
TOTAL VALUE \$ 5340
FOR 19 69 100% \$ 2140
53% = 2840

Yr. Built _____	Depr. _____ %
A/C&C/H@ \$ _____	Total Unit@ \$ _____
SF@ \$ _____	\$ 8220
	X.80
	<u>6580</u>

name & date
12/15/76
Total 100% Value \$ 6580
For 19 77 X/85 = factor
100% = 12170 = City

Co. 32% = 2890

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Area Map | 05

	Door Mark		Elevation Change
	Window Mark		Ceiling Transition (Floor Transition)
	Elevation Key		Existing Topo Level
	Interior Elevation Key		Proposed Topo Level
	Exterior Elevation Key		Keynote
	Wall Section Key		Downspout
	Building Section Key		Hose Bib
	Plan or Section Detail Key		Drain From Above
Room	Room Name Ceiling Height		Cold water for refrigerator or ice maker. Verify exact location with Manufacturer.
	New Tree, NIC	A.E.	Aerial Easement
	Existing Tree	B.O.C.	Bottom of Curb
	Generator	CLG	Ceiling
	HVAC Condensing Unit	C.O.	Cased Opening
		E.J.	Expansion Joint
		F.F.	Finished Floor
		G.C.	General Contractor
		N.I.C.	Not in Contract
		N.T.S.	Not to Scale
		PTD.	Painted
		RA	Return Air
		SIM	Similar
		TBD	To Be Determined
		T.O.C.	Top of Curb
		U.E.	Utility Easement

Legend | 04

Project Description

Proposed work consists of an interior remodel and partial 2nd story addition to an existing 1-story single-family residence at 4018 Oak Ridge, Houston, TX 77009.

Area & Impervious Cover

Lot Size: 5,000 SF

Building Area:		Proposed:	
Existing:	Conditioned Area: 1,291 SF	First Floor: 1,302 SF	Second Floor: 543 SF
	First Floor: 1,291 SF		
Non-conditioned Area: 25 SF		Non-conditioned Area: 163 SF	
	First Floor: 25 SF	First Floor: 163 SF	Second Floor: 0 SF

Building Height:
Existing: 15' - 8" Proposed: 20' - 0"

Lot Coverage:
Existing: Proposed:

Legal Description

4018 Oak Ridge
Houston, TX 77009

Harris County

Legal Description:
Lot 10, Block 126, North Norhill

Flood Plain Information

Zone: Zone X per panel 48201C0670M eff. 6/9/2014

Code Summary

Applicable Codes: 2012 International Residential Code
2015 International Energy Conservation Code

Occupancy: R3

Allowable Area: Unlimited

Construction: V-N

Code Information | 03

Architectural

A0.10	Project Information
D1.10	Demolition Site & Roof Plans
D2.11	Demolition Floor Plan
D3.10	Demolition Exterior Elevations
D3.11	Demolition Exterior Elevations
A1.10	Proposed Site & Roof Plans
A2.11	Proposed Floor Plans
A3.10	Proposed Exterior Elevations
A3.11	Proposed Exterior Elevations
A8.20	Proposed Door & Window Schedules

Index to Sheets | 02

Owner

Fred and Janette Lindner
4018 Oak Ridge
Houston, TX 77009

Architect

Inflection Architecture LLC
Kristin Schuster, AIA
Kristin@inflectionarch.com
713.626.8547

Project Team | 01



Project Information
As indicated

A0.10

A Remodel & Addition to
4018 Oak Ridge

Issue for Certificate
of Appropriateness

Inflection
Architecture

A

|

Project # 2101

28 May 2021

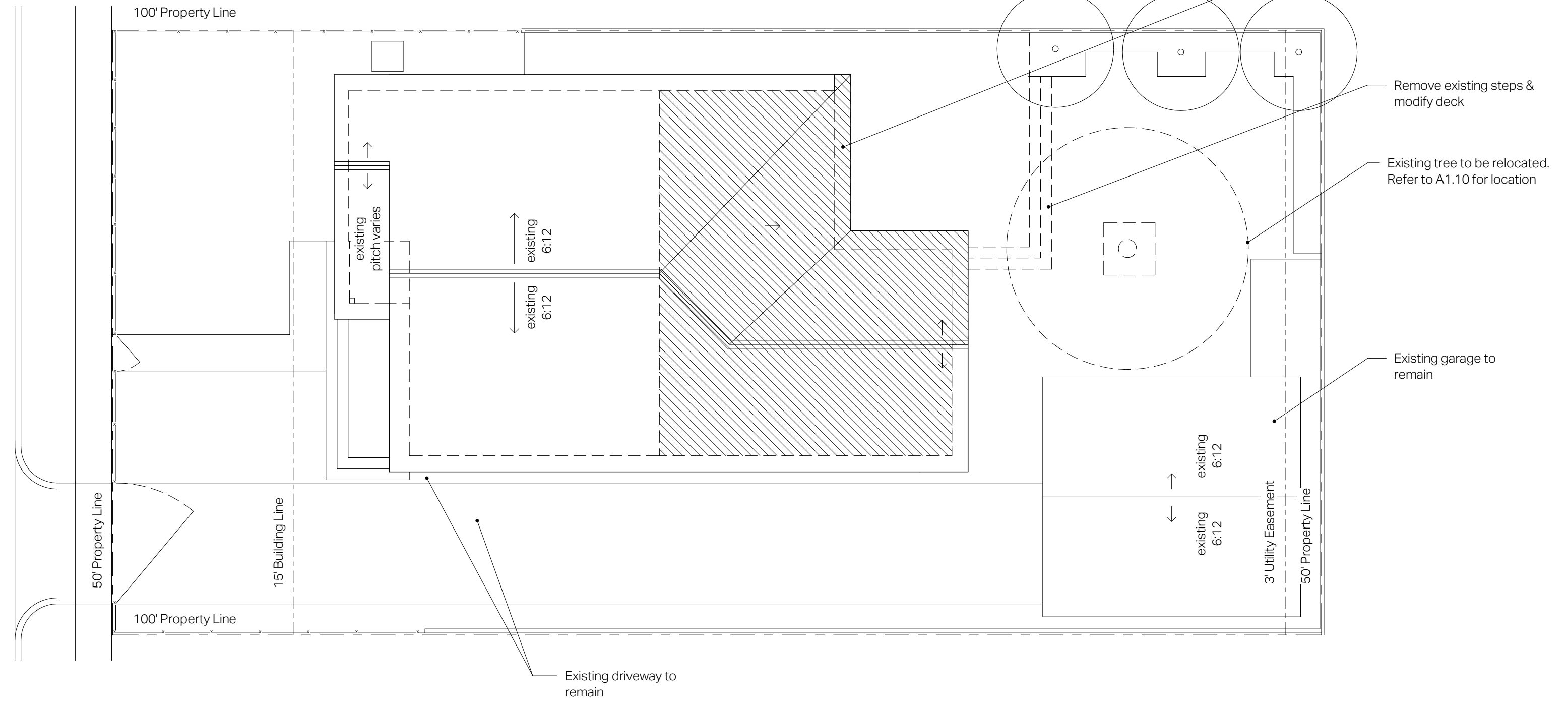
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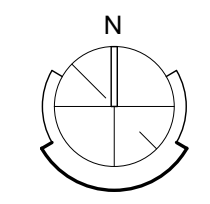
Oakridge Street

50' R.O.W.



- Demolition Site Plan Legend**
- Area of roof to be removed
 - Construction to be removed
 - Construction to be removed
 - Property line
 - Building setback line

Refer to Sheet A0.10 Project Information for Lot Coverage calculations



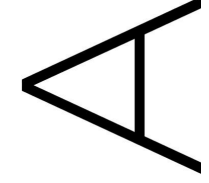
Demolition Site & Roof Plan

1/8" = 1'-0"

Issue for Certificate of Appropriateness

A Remodel & Addition to 4018 Oak Ridge

Inflection Architecture



28 May 2021

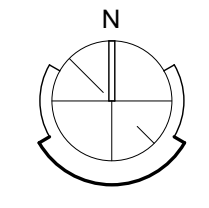
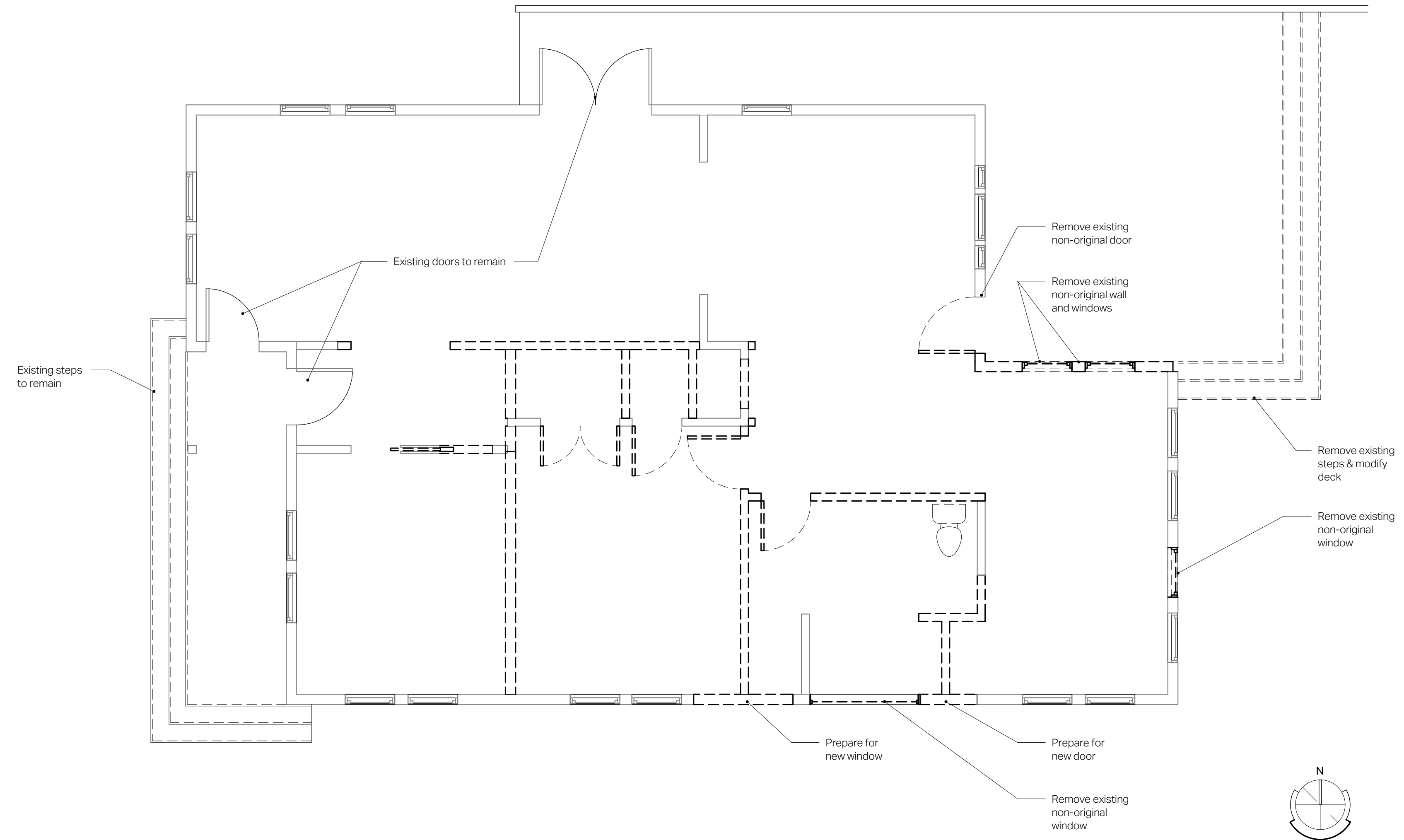
Project # 2101

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D1.10

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Demolition First Floor | 01

Notes to Sheet

1. Refer to structural drawings for framing modifications.
2. Coordinate extent of demolition with new construction.
3. Protect existing construction to remain. Patch & repair as required by new work.
4. Salvage existing door hardware that is removed through course of project and return to owner.

Demolition Plan Legend

- Indicates existing construction to be removed
- _____ Indicates existing construction to remain
- Indicates existing wall to be removed



Demolition Floor Plan
1/4" = 1'-0"

D2.11

Issue for Certificate of Appropriateness

A Remodel & Addition to 4018 Oak Ridge

Inflection Architecture

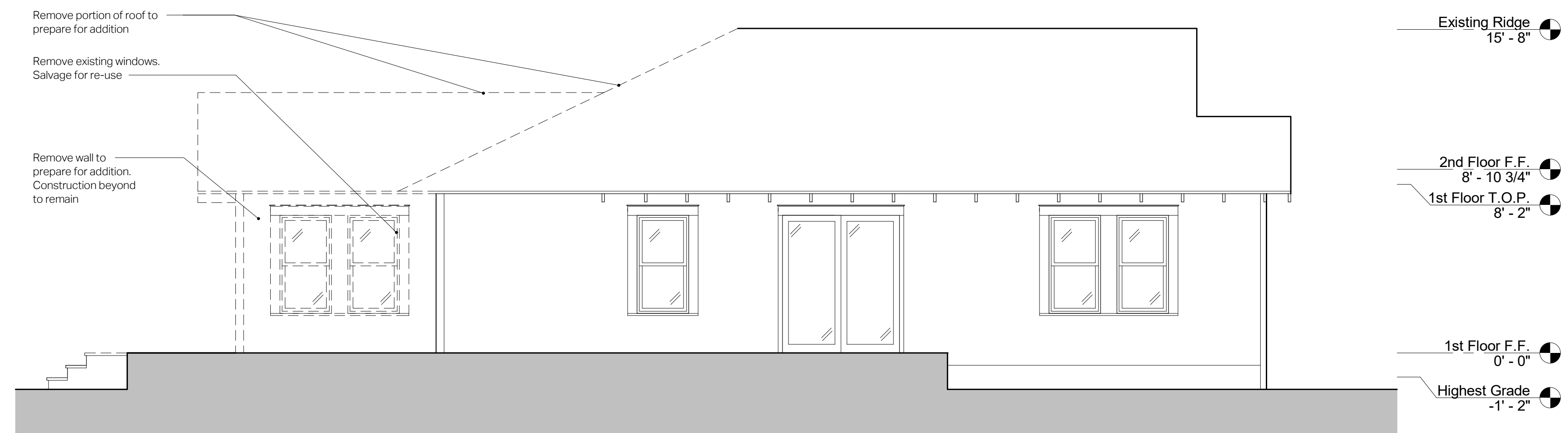
28 May 2021

Project # 2101

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Demolition North Elevation | 02



No work

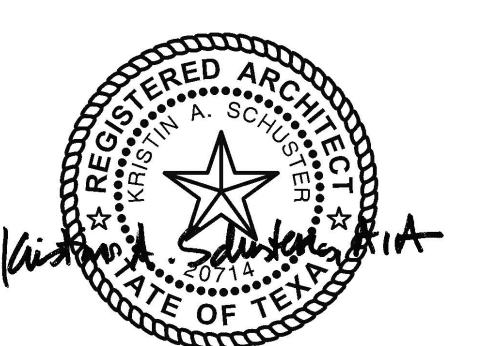
Demolition West Elevation | 01

Infection Architecture

A

A Remodel & Addition to 4018 Oak Ridge

Issue for Certificate of Appropriateness



Demolition Exterior Elevations 1/4" = 1'-0"

D3.10

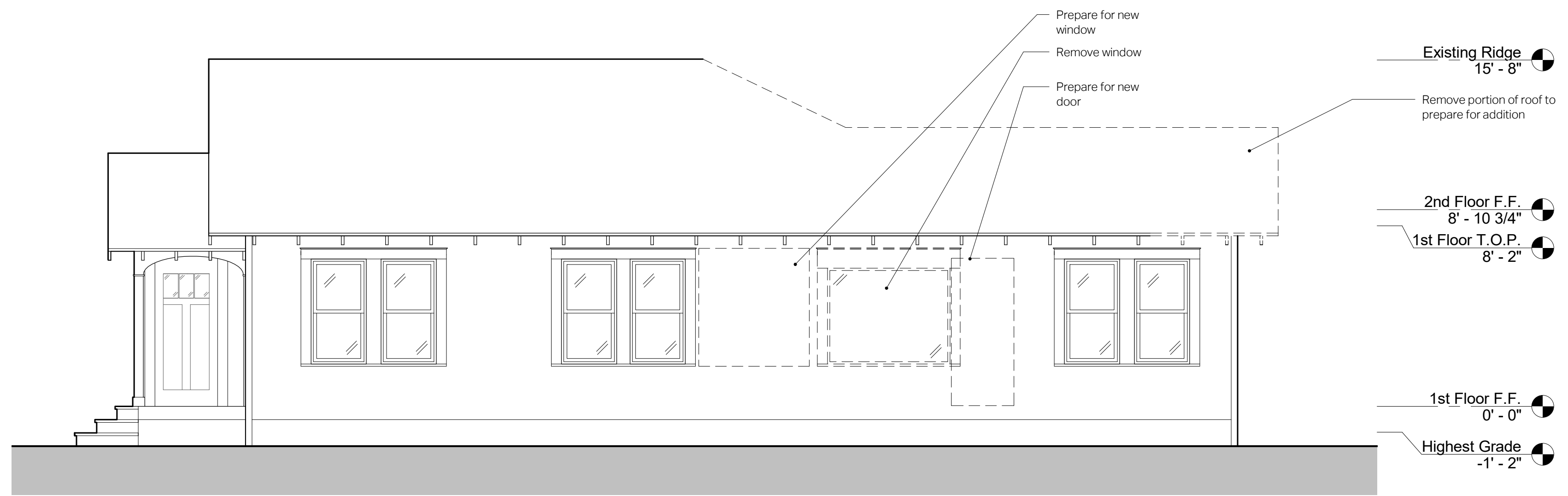
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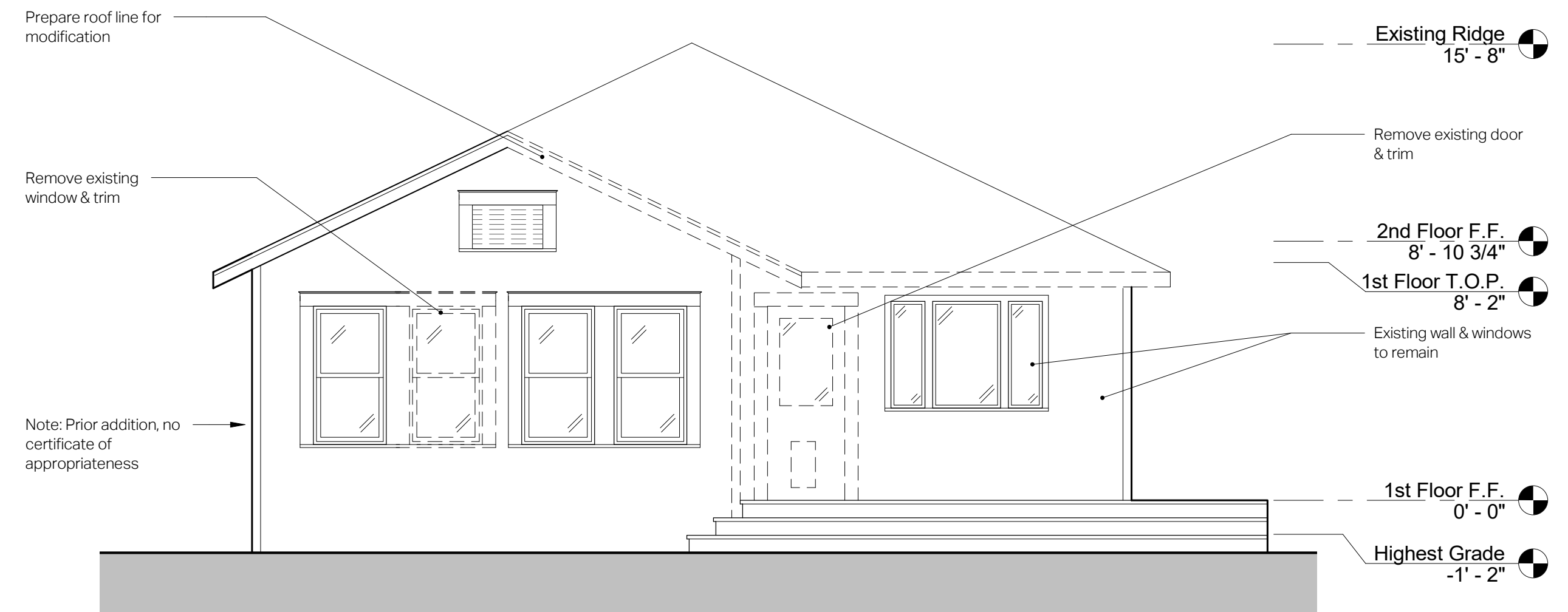
Project # 2101

28 May 2021

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Demolition South Elevation | 02

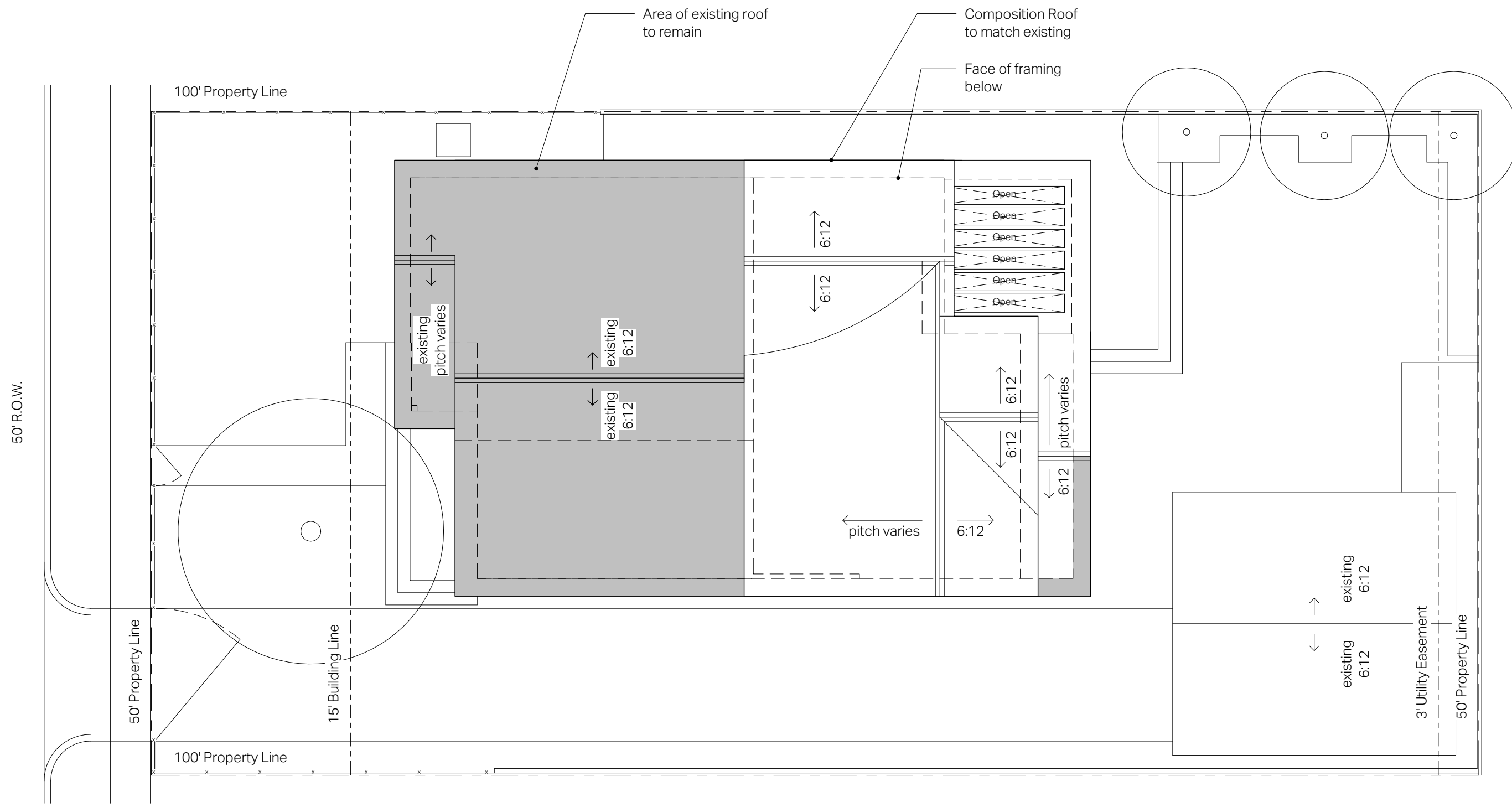


Demolition East Elevation | 01



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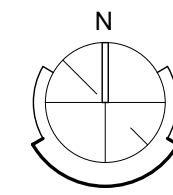
Oakridge Street



Site Plan Legend

- Change in building footprint or roof
- Pervious paving material
- Property line
- Building setback line

Refer to Sheet A0.10 Project Information for Lot Coverage calculations



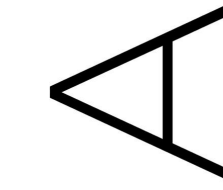
Proposed
Site & Roof
Plan
1/8" = 1'-0"



Issue for Certificate
of Appropriateness

A Remodel & Addition to
4018 Oak Ridge

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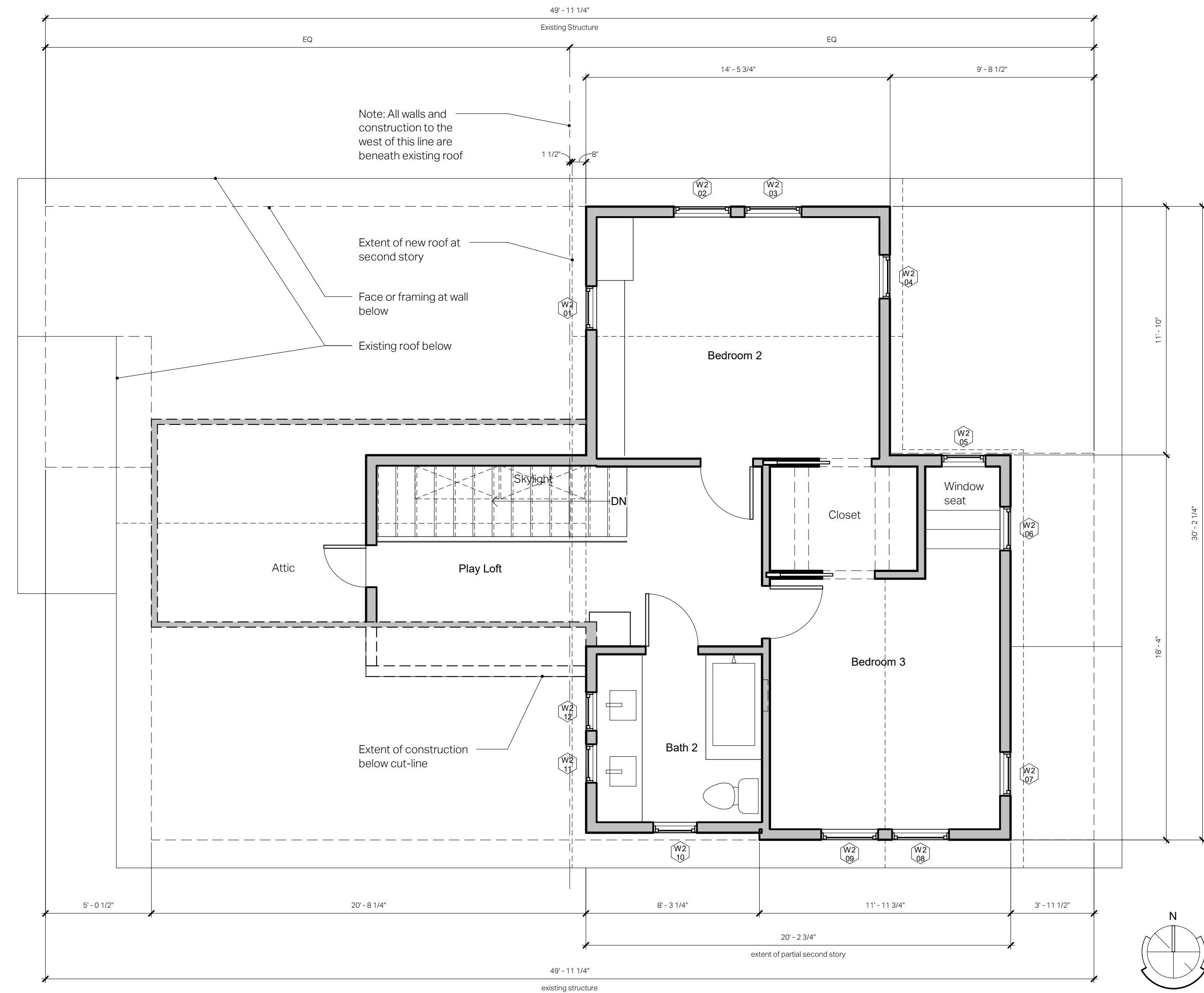
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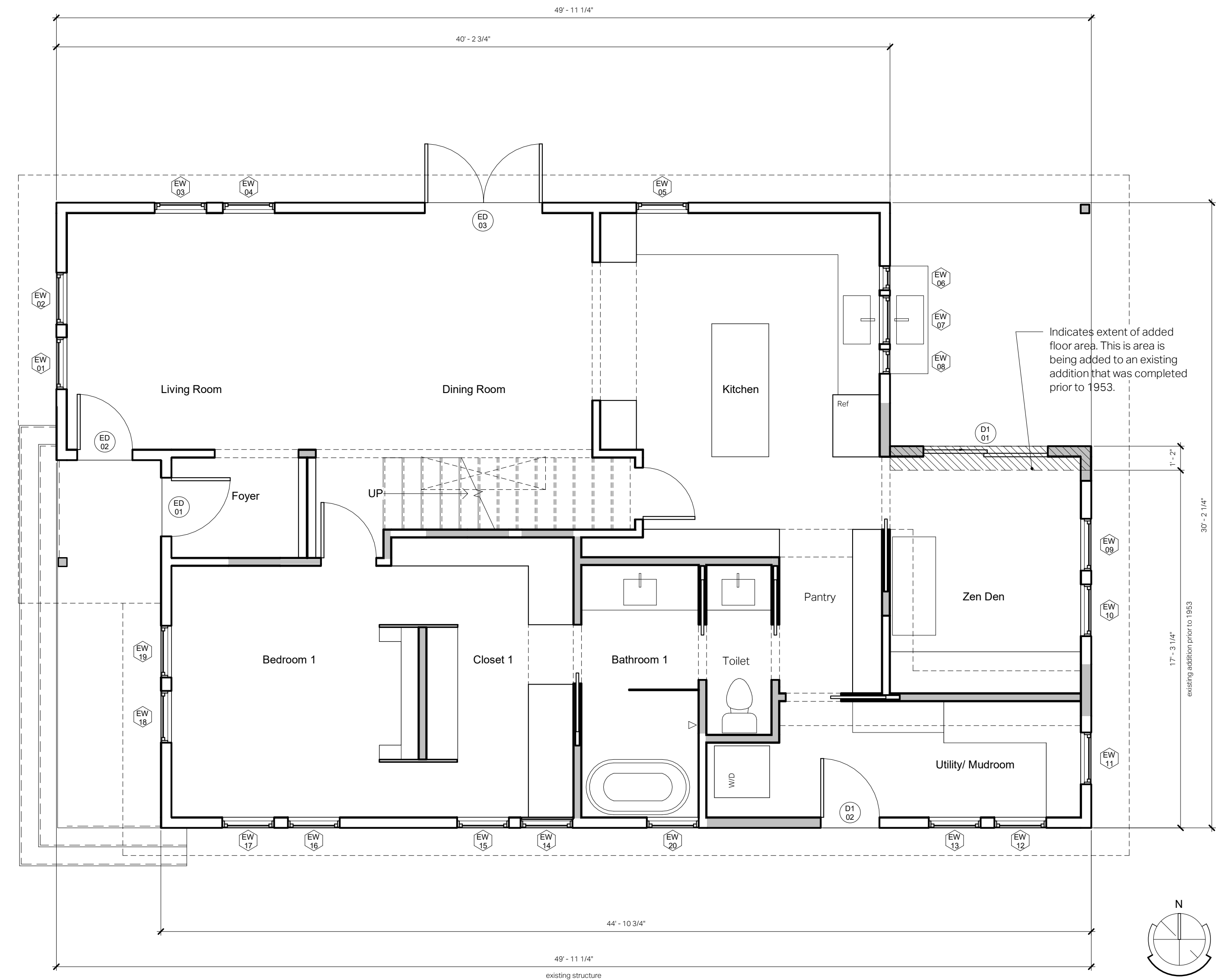
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A1.10

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Proposed Second Floor | 02



Proposed First Floor | 01

Notes to Sheet

1. Provide new pull-down attic access stair in location of existing. Flush concealed panel at door. Attic access hatch and door insulation $\geq R$ -value of the adjacent assembly.
2. All plan views are taken at 4'-0" above finish floor unless noted otherwise.
3. All dimensions given are to face of wood framing unless noted otherwise. M.O. or Masonry indicates dimension given to face of masonry.
4. All exterior walls to be 5/12" wood stud unless noted otherwise.
5. All interior walls to be 3 1/2" wood stud unless noted otherwise. Walls to be 5 1/2" wood stud at pocket doors, toilets, plumbing walls, and medicine cabinets.
6. Provide blocking for all bathroom accessories.
7. All gypsum board to be 5/8" thick, gypsum board at garage to be type 'X'.
8. Provide gas for water heater and other equipment and appliances as required. Verify & locations where walls, ceilings, & floors are opened during the course of construction with architect.
9. Where wall, ceilings or floor are opened during the course of work, provide R-19 min. insulation at all walls between conditioned and non-conditioned space and at floors above non-conditioned space. Provide R-30 min. insulation at roof deck above conditioned space. Insulation shall be installed per mfr's instructions. Floor insulation shall be installed in substantial contact with the underside of the subfloor. Blown in insulation shall be marked every 300 SF.
10. An approved carbon monoxide alarm shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms.
11. Hard-wired, interconnected smoke detectors with battery backup must be installed inside and outside of all bedrooms on each floor. Refer to sheet A2.21 for locations.
12. Glass at shower enclosures, windows within 18" of walking surfaces, or 2' of doors shall be tempered safety glass.
13. Fuel gas lighting systems shall have no continuous pilot light.
14. All patched or repaired surfaces are to match existing adjacent in texture and finish such that patches are not evident.
15. Provide ceiling-mounted Panasonic Whisper-quiet exhaust fan at Bath 2.
16. Heated water circulation systems have a circulation pump. The system return pipe is a dedicated return pipe or a cold water supply pipe. Gravity and thermos-siphon circulation systems are not present. Controls for circulating hot water system pumps start the pump with signal for hot water demand within the occupancy. Controls automatically turn off the pump when water is in circulation loop is at set-point temperature and no demand for hot water exists.
17. Water distribution systems that have recirculation pumps that pump water from a heated water supply pipe back to the heated water source through a cold water supply pipe have a demand recirculation water system. Pumps have controls that manage operation of the pump and limit the temperature of the water entering the cold water piping to 104°F. Attic access hatch and door insulation $\geq R$ -value of the adjacent assembly.
18. Air barrier and thermal barrier installed per manufacturer's instructions.
19. Automatic or gravity dampers are installed on all outdoor air intakes and exhausts.
20. Blower door test @ 50 Pa. ≤ 5 ach in Climate Zones 1-2, and ≤ 3 ach in Climate Zones 3-8.
21. Heating and cooling equipment is sized per ACCA Manual S based on loads calculated per ACCA Manual J or other methods approved by the code official.
22. Hot water pipes are insulated to $\geq R$ -3. Supply and return ducts in attics insulated $\geq R$ -6 where duct is ≥ 3 inches in diameter and $\geq R$ -6 where < 3 inches. Supply and return ducts in other portions of the building insulated $\geq R$ -6 for diameter ≥ 3 inches and R-4.2 for < 3 inches in diameter.
23. Programmable thermostats installed for control of primary heating and cooling systems and initially set by manufacturer to code specifications.
24. All mechanical ventilation system fans not part of tested and listed HVAC equipment meet efficacy and air flow limits.

Floor Plan Legend

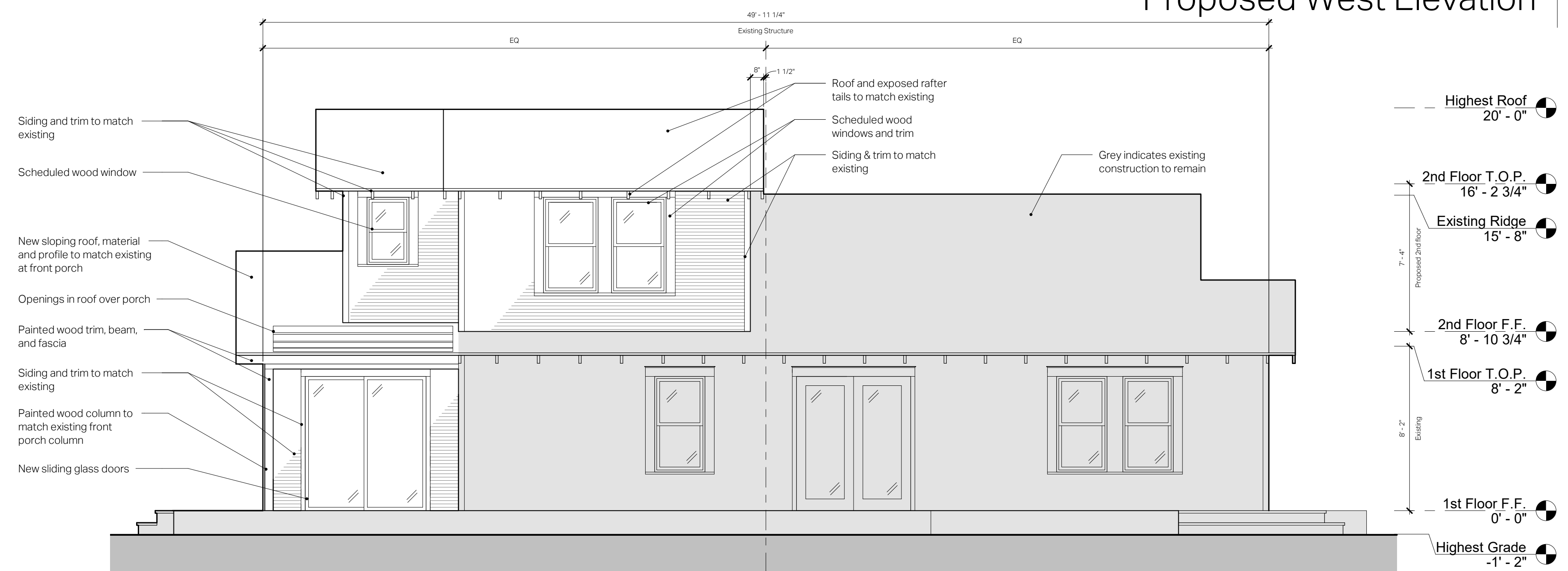
- Existing wall to remain
- New wall
- Construction above cut line or overhead



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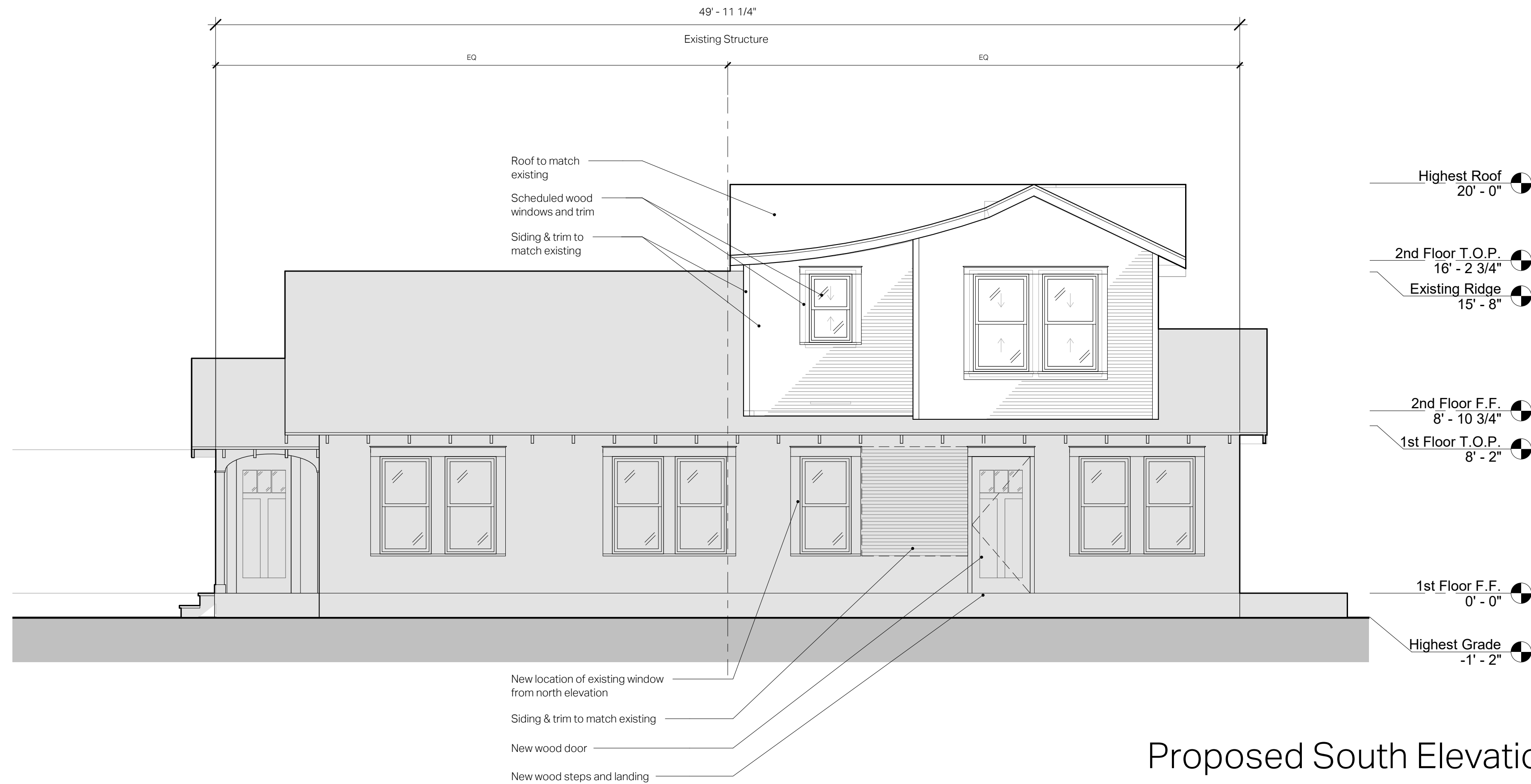
Proposed West Elevation 02



Proposed North Elevation 01



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Proposed South Elevation | 02



Proposed East Elevation | 01

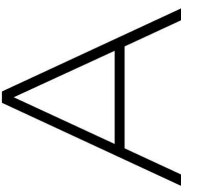


Proposed
Exterior
Elevations
1/4" = 1'-0"

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A3.11

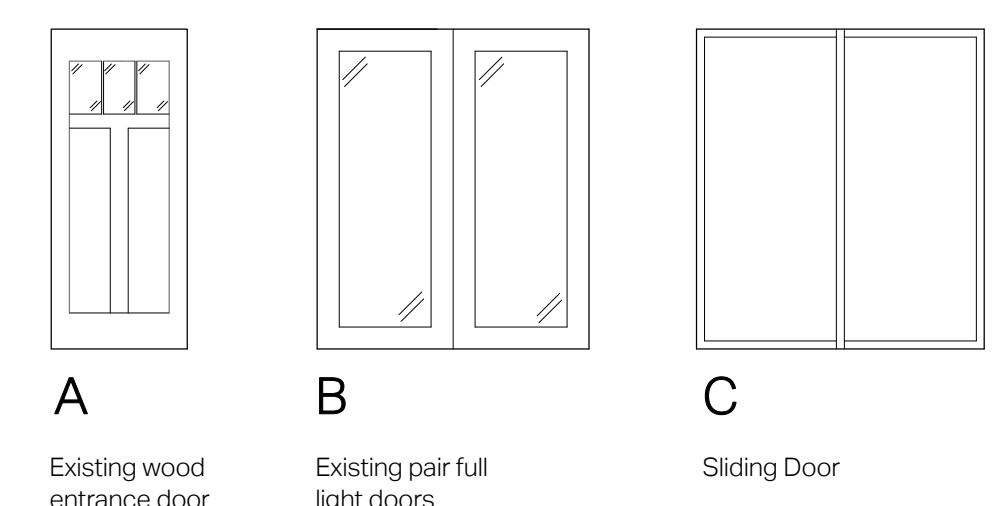


Exterior Door Schedule									
Mark	Door		Type Mark	Door		Frame			Comments
	Width	Height		Thickness	Finish	Head Height	JAMB	Hardware	
D1 01	6'-0"	6'-8"	C	1 3/4"	Aluminum	6'-8"			Proposed
D1 02	2'-10"	6'-8"	A	1 3/4"	Stained	6'-8"			To match existing
D1 04	2'-0"	5'-0"	A	1 3/4"	Stained	5'-0"			Existing
ED 01	2'-10"	6'-8"	A	1 3/4"	Stained	6'-8"			Existing
ED 02	2'-8"	6'-8"	A	1 3/4"	Stained	6'-8"			Existing
ED 03	2'-10"	6'-8"	B	1 3/4"	Painted	6'-8"			Existing

Window Schedule - First Floor									
Mark	Window		Type	Frame			Material	Glazing	Remarks
	Width	Height		Head Height	Head/ Jamb	Sill Height			
EW 01	2'-6"	4'-9"	A	6'-8"		1'-11"			Existing
EW 02	2'-6"	4'-9"	A	6'-8"		1'-11"			Existing
EW 03	2'-6"	4'-9"	A	6'-8"		1'-11"			Existing
EW 04	2'-6"	4'-9"	A	6'-8"		1'-11"			Existing
EW 05	2'-6"	4'-9"	A	6'-8"		1'-11"			Existing
EW 06	1'-2"	3'-8"	B	6'-8"		3'-0"			Existing
EW 07	2'-4"	3'-8"	B	6'-8"		3'-0"			Existing
EW 08	1'-2"	3'-8"	B	6'-8"		3'-0"			Existing
EW 09	2'-6"	4'-9"	A	6'-8"		1'-11"			Existing
EW 10	2'-6"	4'-9"	A	6'-8"		1'-11"			Existing
EW 11	2'-6"	4'-9"	A	6'-8"		1'-11"			Existing
EW 12	2'-6"	4'-9"	A	6'-8"		1'-11"			Existing
EW 13	2'-6"	4'-9"	A	6'-8"		1'-11"			Existing
EW 14	2'-6"	4'-9"	A	6'-8"		1'-11"			Existing
EW 15	2'-6"	4'-9"	A	6'-8"		1'-11"			Existing
EW 16	2'-6"	4'-9"	A	6'-8"		1'-11"			Existing
EW 17	2'-6"	4'-9"	A	6'-8"		1'-11"			Existing
EW 18	2'-6"	4'-9"	A	6'-8"		1'-11"			Existing
EW 19	2'-6"	4'-9"	A	6'-8"		1'-11"			Existing
EW 20	2'-6"	4'-9"	A	6'-8"		1'-11"			Relocated Existing Window

Window Schedule - Second Floor									
Mark	Window		Type	Frame			Material	Glazing	Remarks
	Width	Height		Head Height	Head/ Jamb	Sill Height			
W2 01	2'-1"	3'-4"	A	6'-8"		3'-4"			Proposed
W2 02	2'-8 1/2"	4'-9"	A	6'-8"		1'-11"			Proposed escape & rescue
W2 03	2'-8 1/2"	4'-9"	A	6'-8"		1'-11"			Proposed escape & rescue
W2 04	2'-1"	3'-4"	A	6'-8"		3'-4"			Proposed
W2 05	2'-1"	3'-4"	A	6'-8"		3'-4"			Proposed
W2 06	2'-1"	3'-4"	A	6'-8"		3'-4"			Proposed
W2 07	2'-1"	3'-4"	A	6'-8"		3'-4"			Proposed
W2 08	2'-8 1/2"	4'-9"	A	6'-8"		1'-11"			Proposed escape & rescue
W2 09	2'-8 1/2"	4'-9"	A	6'-8"		1'-11"			Proposed escape & rescue
W2 10	2'-1"	3'-4"	A	6'-8"		3'-4"			Proposed
W2 11	1'-10"	3'-4"	A	6'-8"		3'-4"			Proposed
W2 12	1'-10"	3'-4"	A	6'-8"		3'-4"			Proposed

Door Legend



Window Legend

